

RECORDED  
WASHTENAW COUNTY MI

Liber 03502 Page 0082  
Page 1 of 23

SEP 22 2 30 PM '97

RECORDED  
COUNTY CLERK/REGISTER

**FIRST AMENDMENT TO MASTER DEED  
OF  
HEATHERWOOD**

THIS FIRST AMENDMENT TO MASTER DEED OF HEATHERWOOD is made and executed on this 15 day of September, 1997, by HEATHERWOOD OF ANN ARBOR, L.L.C., a Michigan limited liability company of 3300 East Paris, S.E., Grand Rapids, Michigan 49512 (the "Developer").

**PRELIMINARY STATEMENTS:**

A. Heatherwood (the "Project") was established by recording the Master Deed of Heatherwood dated the 24th day of April, 1996, and recorded May 16, 1996, in Liber 3260, Pages 842 through 907, Washtenaw County, Michigan records (the "Master Deed") establishing the real property described in Article II of the Master Deed, together with the improvements located and to be located thereon and the appurtenances thereto, as a condominium project under the provisions of Act 59 of the Michigan Public Acts of 1978, as amended (the "Act"); and

B. The Developer has the unilateral right without the consent of any co-owner or other person to amend the Master Deed to expand the project and/or to make amendments that do not materially alter or change the rights of a co-owner or mortgagee including correction of errors.

C. The Developer desires to expand the condominium project by adding the following Phase II to the Project:

Commencing at the Northwest Corner of Section 8, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan; thence S00°14'15"W 1572.06 feet along the West line of said Section 8 and the centerline of Lohr Road; thence N87°23'40"E 740.56 feet for a PLACE OF BEGINNING; thence continuing N87°23'40"E 292.64 feet; thence along the westerly right-of-way line of Interstate 94 1080.41 feet along the arc of a 3894.83 foot radius non-tangential circular curve to the left, with a chord bearing S56°18'10"E 1076.95 feet; thence non-tangentially S87°23'40"W 991.86 feet; thence N07°26'33"W 389.28 feet; thence S81°17'34"W 145.61 feet; thence N00°40'46"W 265.34 feet to the Place of Beginning, being a part of the Northwest 1/4 of said Section 8, containing 8.72

12-78 230-710

1167791141

acres of land, more or less, being subject to easements and restrictions of record, if any.

D. The Developer desires to correct the definitions pertaining to garages in the Master Deed that are inconsistent with the garages shown as part of the Units on the Condominium Subdivision Plan.

NOW, THEREFORE, the Developer does hereby amend the Master Deed as follows:

1. **Phase II.** Article II is amended to read as follows:

a. **Legal Description.** The land on which Phases I and II of the project are situated and which have been or are now submitted to condominium ownership pursuant of the provisions of the Act is described as follows:

Commencing at the Northwest Corner of Section 8, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan; thence S00°14'15"W 1884.06 feet along the West line of said Section 8 and the centerline of Lohr Road for a **PLACE OF BEGINNING**; thence S89°45'45"E 213.85 feet; thence N81°17'34"E 682.18 feet; thence S07°26'33"E 389.28 feet; thence S87°23'40"W 940.92 feet along a line parallel with the North line of said Section 8; thence N00°14'15"E 326.40 feet along the West line of said Section 8 and the centerline of Lohr Road to the Place of Beginning, being a part of the Northwest 1/4 of said Section 8, containing 7.25 acres of land, more or less, being subject to the rights of the public over the westerly 33.00 feet thereof as occupied by Lohr Road

Commencing at the Northwest Corner of Section 8, T3S, R6E, Pittsfield Township, Washtenaw County, Michigan; thence S00°14'15"W 1572.06 feet along the West line of said Section 8 and the centerline of Lohr Road; thence N87°23'40"E 740.56 feet for a **PLACE OF BEGINNING**; thence continuing N87°23'40"E 292.64 feet; thence along the westerly right-of-way line of Interstate 94 1080.41 feet along the arc of a 3894.83 foot radius non-tangential circular curve to the left, with a chord bearing S56°18'10"E 1076.95 feet; thence non-tangentially S87°23'40"W 991.86 feet; thence N07°26'33"W 389.28 feet; thence S81°17'34"W 145.61 feet; thence N00°40'46"W 265.34 feet to the Place of Beginning, being a part of the Northwest 1/4 of said Section 8, containing 8.72 acres of land, more or less, being subject to easements and restrictions of record, if any.

b. **Future Expansion Land.** The land which may be added to the Project, in whole or in part, pursuant to election of the Developer at a future date or dates as set forth in Article I hereof, is described as follows:

Commencing at the Northwest Corner of Section 8, Town 3 South, Range 6 East, Pittsfield Township, Washtenaw County, Michigan; thence S00°14'15"W 1572.06 feet along the West line of said Section 8 and the centerline of Lohr Road for a PLACE OF BEGINNING; thence N87°23'40"E 740.56 feet; thence S00°40'46"E 265.34 feet; thence S81°17'34"W 536.57 feet; thence N89°45'45"W 213.85 feet; thence N00°14'15"E 312.00 feet along said West line and said centerline to the Place of Beginning, being a part of the Northwest 1/4 of said Section 8, containing 5.12 acres of land, more or less, being subject to the rights of the public over the westerly 60 feet thereof as occupied by Lohr Road, also being subject to easements and restrictions of record, if any.

2. **Condominium Subdivision Plan.** The Condominium Subdivision Plan attached to the Master Deed as Exhibit "B" is hereby amended as shown on the attached Exhibit "B" Condominium Subdivision Plan.

3. **Garage Definitions.** The following definitions in the Master Deed are revised as follows:

Section 4.1(g) of the Master Deed is hereby amended to read as follows:

"(g) **Parking Areas.** The portions of any garage, carport or parking space which is not otherwise designated as a part of a Unit or as a Limited Common Element in the Condominium Subdivision Plan."

Section 4.2(e) of the Master Deed is hereby amended to read as follows:

"(e) **Driveways, Garage and Storage Space.** The driveways leading to the garages and garage and storage interior space and surfaces not designated as a part of a Unit in the Condominium Subdivision Plan; and"

4. **Continuing Effect.** Except as amended and modified by this First Amendment to Master Deed, all terms and conditions of the Master Deed, as previously amended, shall remain in full force and effect.

IN WITNESS WHEREOF, the Developer has duly executed this First Amendment to Master Deed as of the day and year first above written.

WITNESS:

HEATHERWOOD OF ANN ARBOR,  
L.L.C., a Michigan limited liability  
company

Barbara T. Wasilewski  
Barbara T. Wasilewski

By: Harold J. Kloosterman  
Harold J. Kloosterman  
Its Member

Anne Tylmas  
Anne Tylmas

STATE OF ILLINOIS        )  
  )ss.  
COUNTY OF KANE        )

On this 17 day of September, 1997, before me, a Notary Public in and for said County, appeared Harold J. Kloosterman to me personally known, who being by me duly sworn, did say that he is a Member of HEATHERWOOD OF ANN ARBOR, L.L.C., a Michigan limited liability company, which executed the within instrument and he further acknowledged said instrument to be the free act and deed of said limited liability company.

Anne Tylmas  
Anne Tylmas

Notary Public, KANE County, IL  
My Commission Expires: 7 29 95

This Instrument Drafted By:  
KEITH P. WALKER  
McSHANE & BOWIE, P.L.C.  
1100 Campau Square Plaza  
99 Monroe Ave., N.W.  
P.O. Box 360  
Grand Rapids, MI 49501-0360  
(616) 732-5000

Return to draftsman after recording.

972479019-0005-JLT

**EXHIBIT B TO THE FIRST AMENDMENT TO THE MASTER DEED OF HEATHERWOOD**

**A CONDOMINIUM IN PITTSFIELD TOWNSHIP, WASHTEENAW COUNTY, MICHIGAN**

**DEVELOPER:**  
HEATHERWOOD OF ANN ARBOR, L.L.C.  
3300 E. PARIS, STE  
KENTWOOD, MICHIGAN 49612

**ARCHITECT:**  
J. BRADLEY MOORE AND ASSOCIATES  
ARCHITECTS, INC.  
317 S. DIVISION, SUITE 1510  
ANN ARBOR, MICHIGAN 48104

**ENGINEER/SURVEYOR:**  
ATWELL-HICKS, INC.  
540 AVIS DRIVE  
ANN ARBOR, MICHIGAN 48108

**LEGAL DESCRIPTION:**

DESCRIPTION OF HEATHERWOOD CONDOMINIUM

Commencing at the Northwest Corner of Section 8, T3S, R8E, Pittsfield Township, Washtenaw County, Michigan, and following the course of the centerline of Lot 1, Block 1, Plat 239, Subdivision of Lahr Road (notable width) for a PLACE OF BEGINNING, thence S89°45'45"E 213.85 feet; thence N81°17'34"E 538.57 feet; thence N00°40'45"W 285.34 feet; thence N87°23'40"E 292.64 feet along a line parallel with the North line of said Section 8; thence southeasterly along the southeasterly right-of-way line of I-94, freeway and 1080.41 feet; thence S89°45'45"E 213.85 feet; thence S87°23'40"W 1832.78 feet along a line parallel with the centerline of said Section 8; thence S87°23'40"W 1832.78 feet along the West line of said Section 8 and the centerline of said Lahr Road to the Place of Beginning, being a part of the Northwest 1/4 of said Section 8, containing 3.597 acres of land, more or less, and being subject to the rights of the estate therein as occupied by Lahr Road, and being subject to other easements and restrictions of record, if any.

**SHEET INDEX:**

SHEET	DESCRIPTION
*1	TITLE AND DESCRIPTIONS
*2	COMPOSITE PLAN
*3	SURVEY PLAN
*3A	SURVEY PLAN
*4	SITE PLAN
*4A	UTILITY PLAN
*5	UTILITY PLAN
*6	FLOOR PLANS
*7	LOWER LEVEL SECTIONS
*8	LOWER LEVEL PLAN
*9	UPPER LEVEL PLAN
*10	UPPER LEVEL PLAN / SECTION A
*11	UPPER LEVEL PLAN / SECTION A
*12	SECTION B & C
*13	GARAGE PLANS / GARAGE SECTION
*14	GARAGE PLANS / GARAGE SECTION
*15	GARAGE PLANS / GARAGE SECTION
*16	GARAGE PLANS / GARAGE SECTION

THE ASTERISKS (\*) SHOWN ABOVE INDICATE AMENDED OR NEW SHEETS. THESE SHEETS WITH THE SUBMISSION ARE TO REPLACE THOSE SHEETS PREVIOUSLY RECORDS.

PROPOSED DATE: AUGUST 15, 1997

TODD PASCOE  
PROFESSIONAL ENGINEER NO. 36125  
ATWELL-HICKS, INC.  
540 AVIS DRIVE  
ANN ARBOR, MICHIGAN 48108  
(313) 994-4000



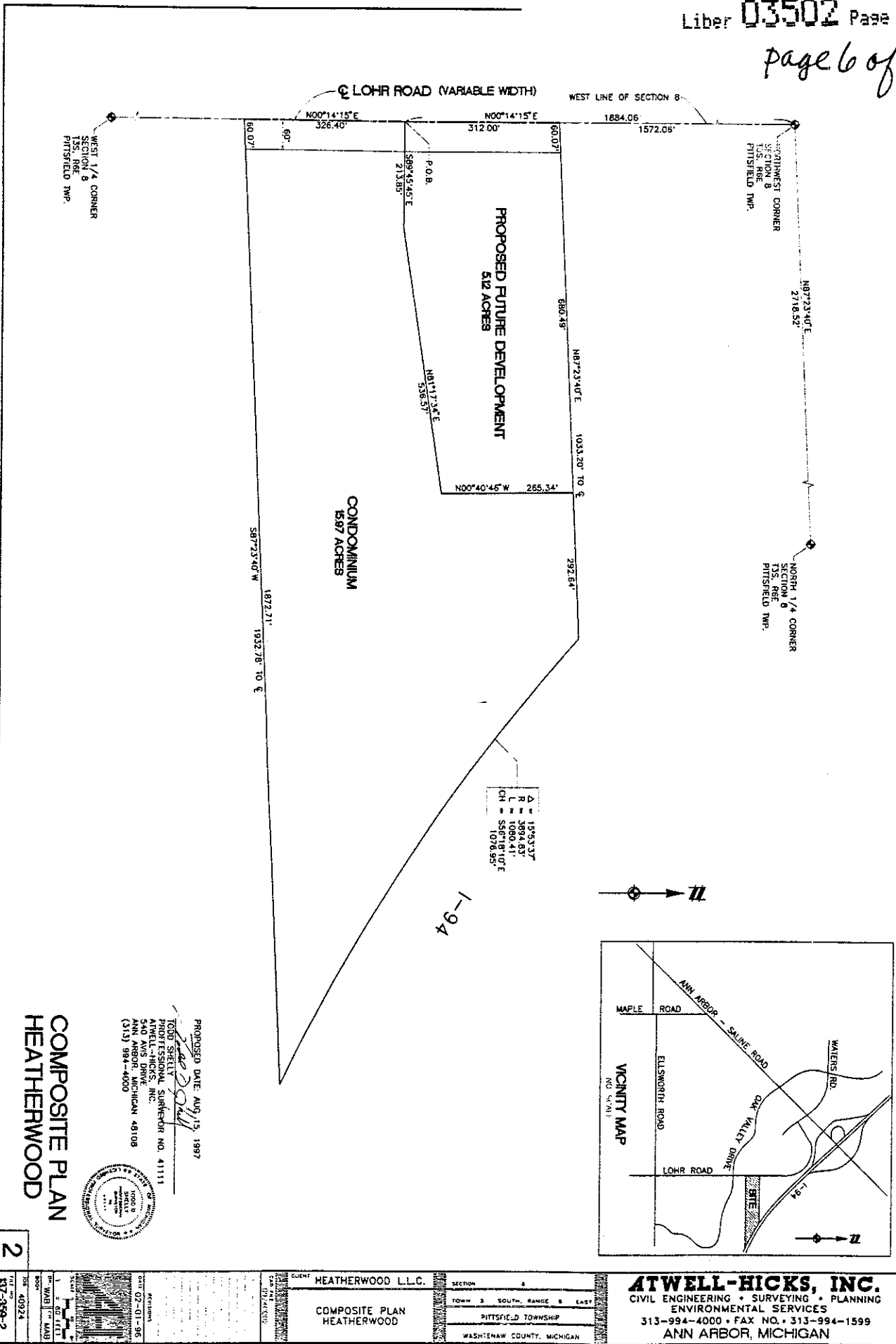
**TITLE AND DESCRIPTIONS  
HEATHERWOOD**

**ATWELL-HICKS, INC.**  
CIVIL ENGINEERING • SURVEYING • PLANNING  
ENVIRONMENTAL SERVICES  
313-994-4000 • FAX NO. • 313-994-1599  
ANN ARBOR, MICHIGAN

CUSTOMER: HEATHERWOOD L.L.C.  
SECTION: 8  
TOWNSHIP: SOUTH, RANGE 8 EAST  
PITTSFIELD TOWNSHIP  
WASHTEENAW COUNTY, MICHIGAN

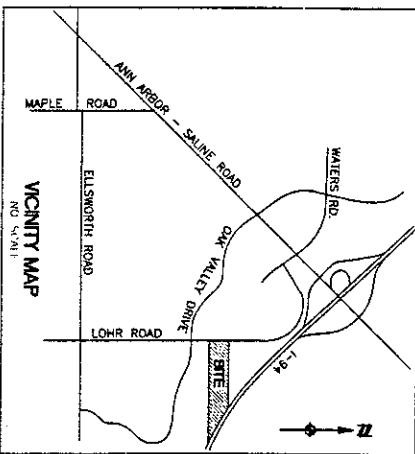
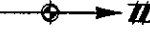
TITLE AND DESCRIPTIONS  
HEATHERWOOD  
DATE: 02-01-95  
SCALE: AS SHOWN  
DRAWN BY: [blank]  
CHECKED BY: [blank]

1  
027-389-1



- △ = 19°53'37"
- R = 3694.63'
- CH = 1884.06'
- S = 55°18'10"E
- 1078.99'

1-94



PROPOSED DATE: AUG 15, 1997  
 TODD SHELLY  
 PROFESSIONAL SURVEYOR NO. 41111  
 540 ANN ARBOR DRIVE  
 ANN ARBOR, MICHIGAN 48108  
 (313) 984-4000



**COMPOSITE PLAN  
 HEATHERWOOD**

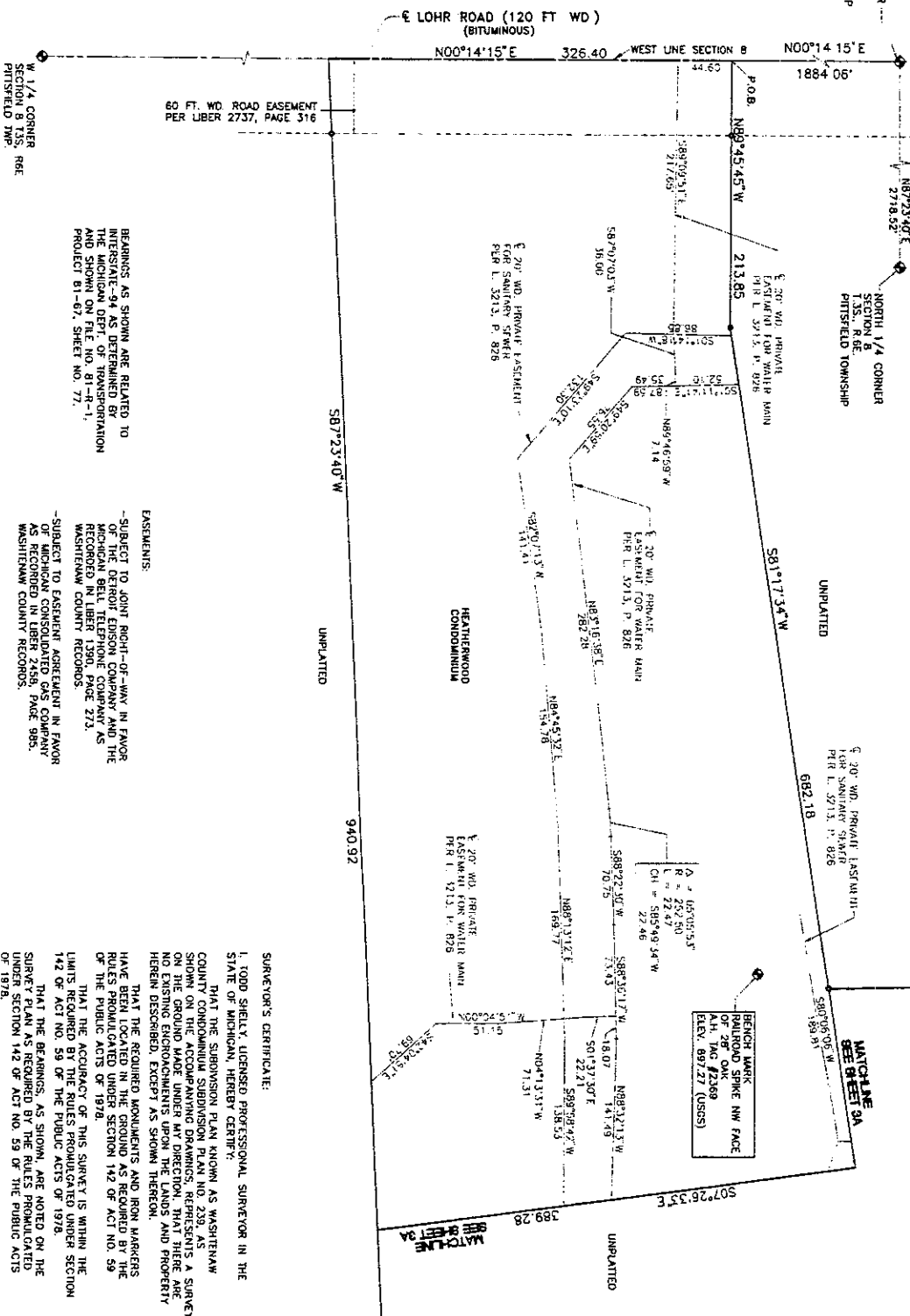
2  
 527-599-2

**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN

CLIENT: HEATHERWOOD L.L.C.  
 SECTION: 8  
 TOWN: 3 SOUTH, RANGE: 6 EAST  
 PITSFIELD TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

DATE: 02-01-96	PROJECT: HEATHERWOOD
SCALE: 1" = 40' (PLT)	DR: WAB (MAB)
TITLE NO: 40924	NO: 40924

WEATHERSTONE  
CONDOMINIUM  
L. 2414 P. 618  
AS AMENDED



BEARINGS AS SHOWN ARE RELATED TO INTERSTATE-94 AS DETERMINED BY THE MICHIGAN DEPT. OF TRANSPORTATION PROJECT B1-67, SHEET NO. 77.

**EASEMENTS:**  
 - SUBJECT TO JOINT RIGHT-OF-WAY IN FAVOR OF THE DETROIT EDISON COMPANY AND THE MICHIGAN BELL TELEPHONE COMPANY AS SHOWN ON PLANS NO. 10-77-1, PROJECT B1-67, SHEET NO. 77.  
 - SUBJECT TO EASEMENT AGREEMENT IN FAVOR OF MICHIGAN CONSOLIDATED GAS COMPANY AS SHOWN ON PLANS NO. 10-77-1, PROJECT B1-67, SHEET NO. 77.  
 - SUBJECT TO EASEMENT AGREEMENT IN FAVOR OF MICHIGAN CONSOLIDATED GAS COMPANY AS SHOWN ON PLANS NO. 10-77-1, PROJECT B1-67, SHEET NO. 77.

1. THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD PLAIN

**LEGEND**  
 - CENTER LINE  
 - CONCRETE MONUMENT

**SURVEYOR'S CERTIFICATE:**  
 I, TODD SHELLY, LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY:  
 THAT THE SURVEYOR'S PLAN SHOWN AS WASHINGTON COUNTY CONVEYANCE SURVEYOR PLAN NO. 137-59-3 SHOWN ON THE ACCOMPANYING DRAWINGS REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION, THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DESCRIBED, EXCEPT AS SHOWN THEREON.  
 THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE BEEN LOCATED IN THE GROUND AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACTS OF 1978.  
 THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACTS OF 1978.  
 THAT THE BEARINGS, AS SHOWN, ARE NOTED ON THE SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 59 OF THE PUBLIC ACTS OF 1978.

PROPOSED DATE: AUG 15, 1997

TODD SHELLY  
 LICENSED PROFESSIONAL SURVEYOR NO. 41111  
 ATWELL-HICKS, INC.  
 340 AINS DRIVE  
 ANN ARBOR, MICHIGAN 48108  
 (313) 994-4000



**SURVEY PLAN  
 HEATHERWOOD**

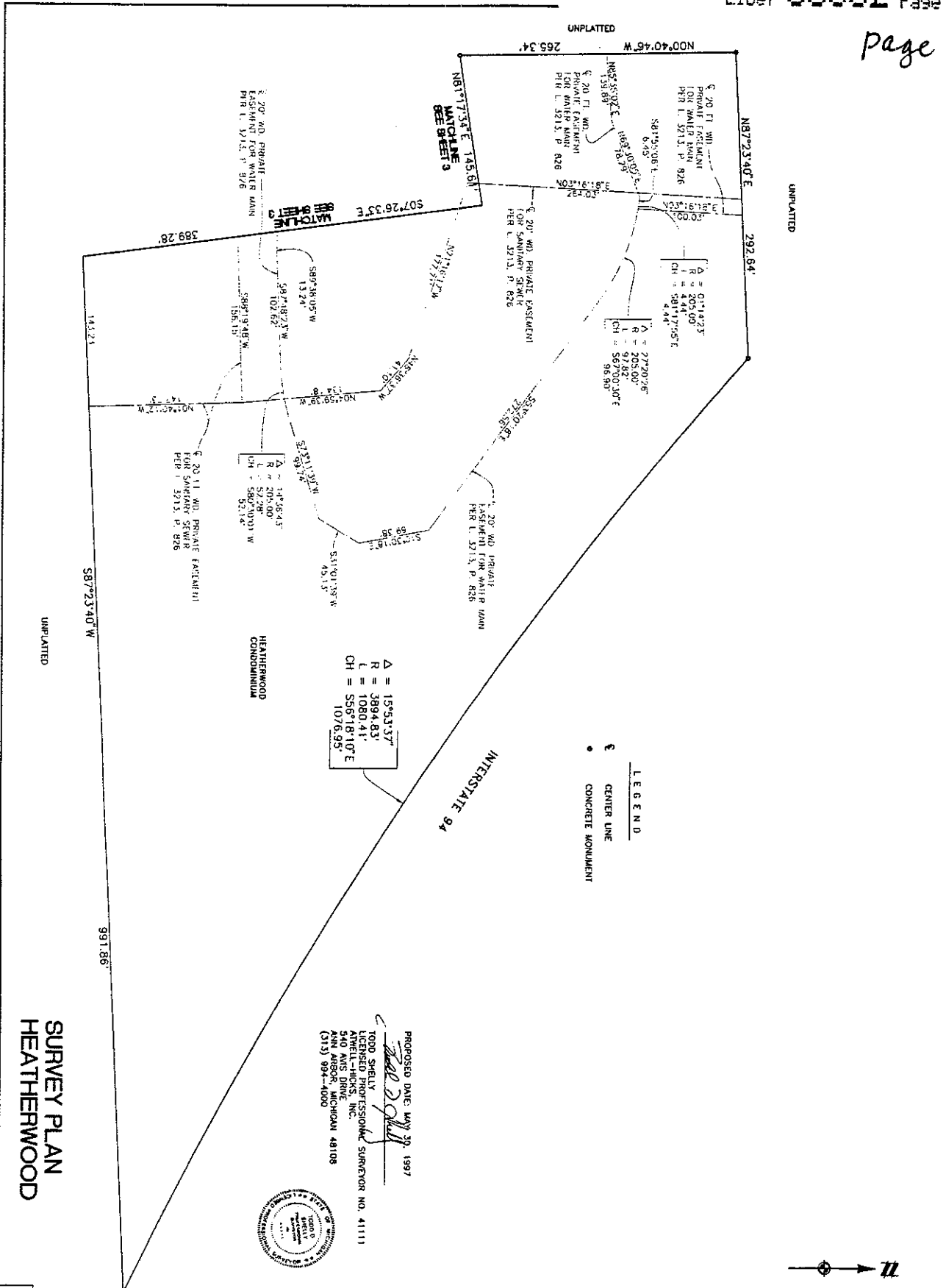
3  
 137-59-3

DATE	08/15/97
BY	TODD SHELLY
CHECKED	ATWELL-HICKS, INC.
DATE	08/20/97
BY	ATWELL-HICKS, INC.

CLIENT	HEATHERWOOD L.L.C.
SECTION	3
TOWN	SOUTH RANGE 8 EAST
COUNTY	PITTSFIELD TOWNSHIP
STATE	WASHTENAW COUNTY, MICHIGAN

**SURVEY PLAN  
 HEATHERWOOD**

**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN

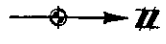


LEGEND

- CENTER LINE
- CONCRETE MONUMENT

$\Delta = 15^{\circ}53'37''$   
 $R = 3894.83'$   
 $L = 1080.41'$   
 $CH = 58^{\circ}18'10''E$   
 $1076.95'$

PROPOSED DATE: MAY 30, 1997  
 TODD SHELLEY  
 LICENSED PROFESSIONAL SURVEYOR NO. 41111  
 ATWELL-HICKS, INC.  
 ANN ARBOR, MICHIGAN 48108  
 (313) 994-4000



3A

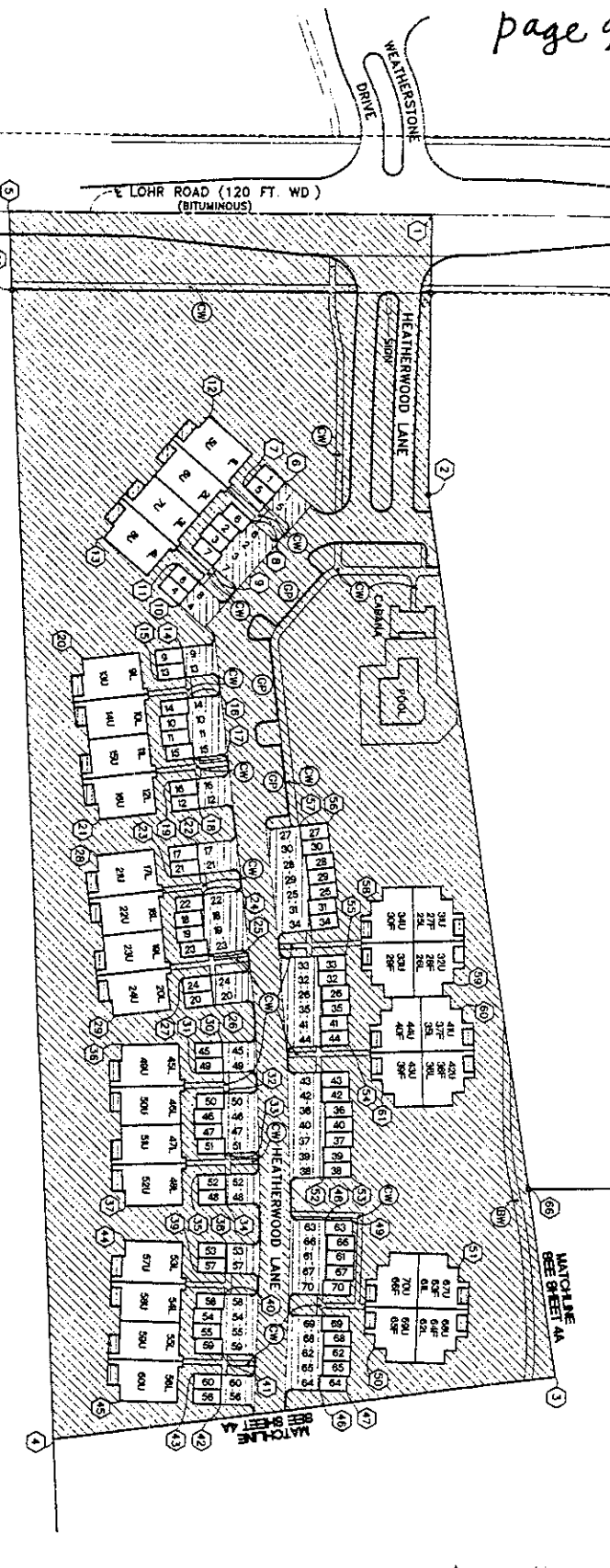
SHEET NO. 0023  
 OF 0023  
 DATE: 05/30/97

CLIENT	HEATHERWOOD L.L.C.
PROJECT	PHASE II SURVEY PLAN HEATHERWOOD
TOWN	TOWN 5 SOUTH, RANGE 8 EAST
SECTION	SECTION 8
COUNTY	PITTSFIELD TOWNSHIP
STATE	WASHTENAW COUNTY, MICHIGAN

**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN

SURVEY PLAN  
 HEATHERWOOD





FINISH FLOOR ELEVATION SCHEDULE	
UNIT NO.	FINISH FLOOR ELEVATION
11-21	907.9
11-41	907.2
50-60	917.1
70-80	916.1
90-100	906.3
110-120	906.0
130-140	918.9
150-160	918.9
171-180	904.2
191-200	903.9
210-220	912.4
230-240	912.4
250-260	902.6
270-280	902.6
290-300	902.8
310-320	912.0
330-340	912.0
350-360	894.3

FINISH FLOOR ELEVATION SCHEDULE	
UNIT NO.	FINISH FLOOR ELEVATION
370-380	903.5
390-400	903.5
410-420	912.7
430-440	912.7
450-460	907.9
470-480	907.9
490-500	911.1
510-520	909.8
530-540	909.2
550-560	907.9
570-580	909.4
590-600	907.1
610-620	893.6
630-640	902.8
650-660	902.8
670-680	912.0
690-700	912.0

- LEGEND**
- COORDINATE POINT
  - CONCRETE MONUMENT
  - LIMITS OF OWNERSHIP
  - ▨ LIMITED COMMON ELEMENT
  - ▩ GENERAL COMMON ELEMENT
  - ▧ LOWER LEVEL UNIT
  - ▦ FIRST FLOOR UNIT
  - ▥ UPPER LEVEL UNIT
  - ▤ BITUMINOUS WALKWAY
  - ▣ CONCRETE WALKWAY
  - ▢ GUEST PARKING

COORDINATE TABLE		
COORDINATE NO.	NORTHING	EASTING
1	4346.641	7940.635
2	4449.754	8154.490
3	4483.028	8828.799
4	4483.028	8828.799
5	4020.247	7935.860
6	4234.642	8145.358
7	4202.726	8149.128
8	4202.726	8174.948
9	4158.863	8232.948
10	4152.914	8209.307
11	4175.590	8095.040
12	4098.982	8109.677
13	4138.140	8297.984
14	4160.888	8310.818
15	4166.254	8335.500
16	4170.919	8395.531
17	4170.919	8395.531
18	4079.259	8261.446
19	4079.259	8404.024
20	4168.981	8442.350
21	4149.823	8441.767
22	4178.932	8506.782
23	4178.932	8545.497
24	4158.956	8525.231
25	4091.967	8431.722
26	4091.967	8431.722
27	4190.242	8524.289
28	4190.242	8524.289
29	4189.927	8597.490
30	4189.927	8597.490
31	4191.373	8612.888
32	4191.373	8612.888

COORDINATE TABLE		
COORDINATE NO.	NORTHING	EASTING
33	4192.677	8658.870
34	4193.783	8697.854
35	4172.139	8675.458
36	4172.139	8675.458
37	4117.725	8576.295
38	4194.122	8727.582
39	4172.542	8750.018
40	4183.952	8766.549
41	4181.952	8817.534
42	4170.550	8827.932
43	4170.550	8827.932
44	4113.407	8849.249
45	4113.407	8849.249
46	4266.265	8840.357
47	4266.265	8840.357
48	4266.610	8709.400
49	4266.610	8709.400
50	4266.610	8709.400
51	4374.221	8745.583
52	4266.610	8709.400
53	4266.610	8709.400
54	4266.610	8709.400
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57	4266.610	8709.400
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60	4266.610	8709.400
61	4266.610	8709.400
62	4266.610	8709.400
63	4266.610	8709.400
64	4266.610	8709.400
65	4266.610	8709.400
66	4266.610	8709.400

AS BUILT DATE: AUG 15, 1997

TODD PASCOE  
 PROFESSIONAL ENGINEER NO. 36123  
 ATWELL-HICKS, INC.  
 540 ANNS DRIVE  
 ANN ARBOR, MICHIGAN 48108  
 (313) 994-4000



**SITE PLAN**  
**HEATHERWOOD**

4  
 131-359-4

CLIENT: HEATHERWOOD L.L.C.

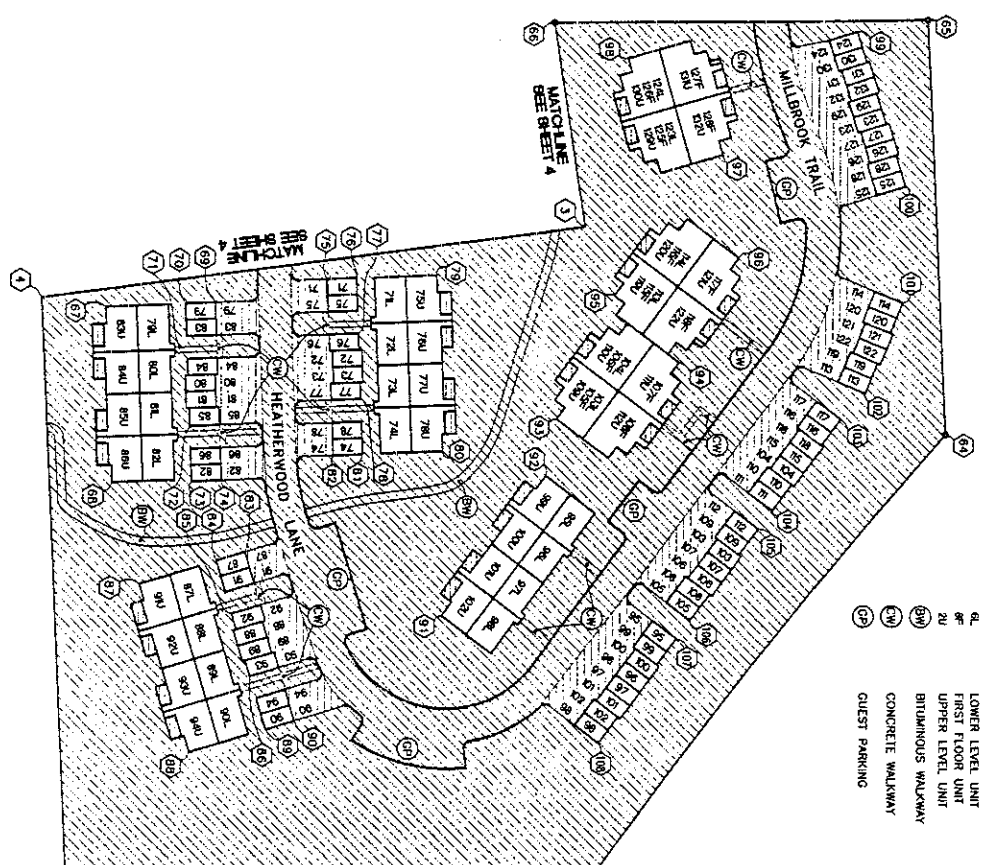
SECTION: 1

TOWN: 3 SOUTH, RANGE 6 EAST

PITTSFIELD TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN



- LEGEND**
- COORDINATE POINT
  - CONCRETE MONUMENT
  - LIMITS OF OWNERSHIP
  - ▨ LIMITED COMMON ELEMENT
  - ▩ GENERAL COMMON ELEMENT
  - ▧ LOWER LEVEL UNIT
  - ▦ FIRST FLOOR UNIT
  - ▥ UPPER LEVEL UNIT
  - ▤ BITUMINOUS WALKWAY
  - ▣ CONCRETE WALKWAY
  - ▢ GUEST PARKING

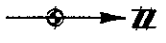
COORDINATE TABLE		
COORDINATE NO.	NORTHING	EASTING
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65	4692.304	8681.725
66	4426.983	8884.971
67	4112.882	9005.087
68	4185.771	8882.495
69	4164.787	8882.399
70	4186.279	8872.271
71	4186.279	8872.271
72	4186.279	8872.271
73	4186.279	8872.271
74	4186.279	8872.271
75	4186.279	8872.271
76	4186.279	8872.271
77	4186.279	8872.271
78	4186.279	8872.271
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81	4186.279	8872.271
82	4186.279	8872.271
83	4186.279	8872.271
84	4186.279	8872.271

COORDINATE TABLE		
COORDINATE NO.	NORTHING	EASTING
85	4190.518	9101.265
86	4111.817	8148.301
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88	4168.844	9188.715
89	4223.053	9182.635
90	4243.675	9176.419
91	4341.589	9102.303
92	4429.253	8863.796
93	4518.398	8923.070
94	4470.139	8877.037
95	4526.662	8850.516
96	4526.662	8850.516
97	4526.662	8850.516
98	4526.662	8850.516
99	4526.662	8850.516
100	4526.662	8850.516
101	4526.662	8850.516
102	4526.662	8850.516
103	4526.662	8850.516
104	4526.662	8850.516
105	4526.662	8850.516
106	4526.662	8850.516
107	4526.662	8850.516
108	4526.662	8850.516
109	4526.662	8850.516
110	4526.662	8850.516

FINISH FLOOR ELEVATION SCHEDULE		
UNIT NO.	FINISH FLOOR ELEVATION	FINISH FLOOR ELEVATION
71L-72L	897.3	897.3
73L-74L	896.0	896.0
75L-76L	906.5	906.5
77L-78L	905.2	905.2
79L-80L	896.2	896.2
81L-82L	894.9	894.9
83L-84L	905.4	905.4
85L-86L	904.1	904.1
87L-88L	893.4	893.4
89L-90L	892.1	892.1
91L-92L	902.6	902.6
93L-94L	901.3	901.3
95L-96L	896.0	896.0
97L-98L	894.7	894.7
99L-100L	903.9	903.9
101L-102L	902.7	902.7
103L-104L	901.9	901.9
105L-106L	901.9	901.9
107L-108L	901.9	901.9
109L-110L	911.1	911.1
111L-112L	894.0	894.0
113L-114L	903.2	903.2
115L-116L	903.2	903.2
117L-118L	912.4	912.4
119L-120L	912.4	912.4
121L-122L	892.8	892.8
123L-124L	902.0	902.0
125L-126L	902.0	902.0
127L-128L	902.0	902.0
129L-130L	911.2	911.2
131L-132L	911.2	911.2

PROPOSED DATE: AUG 15, 1997

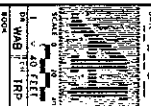
TODD PASTORE  
REGISTERED PROFESSIONAL ENGINEER NO. 36125  
440 ANN ARBOR DRIVE, N.E.  
ANN ARBOR, MICHIGAN 48108  
(313) 994-4000



**SITE PLAN**  
**HEATHERWOOD**

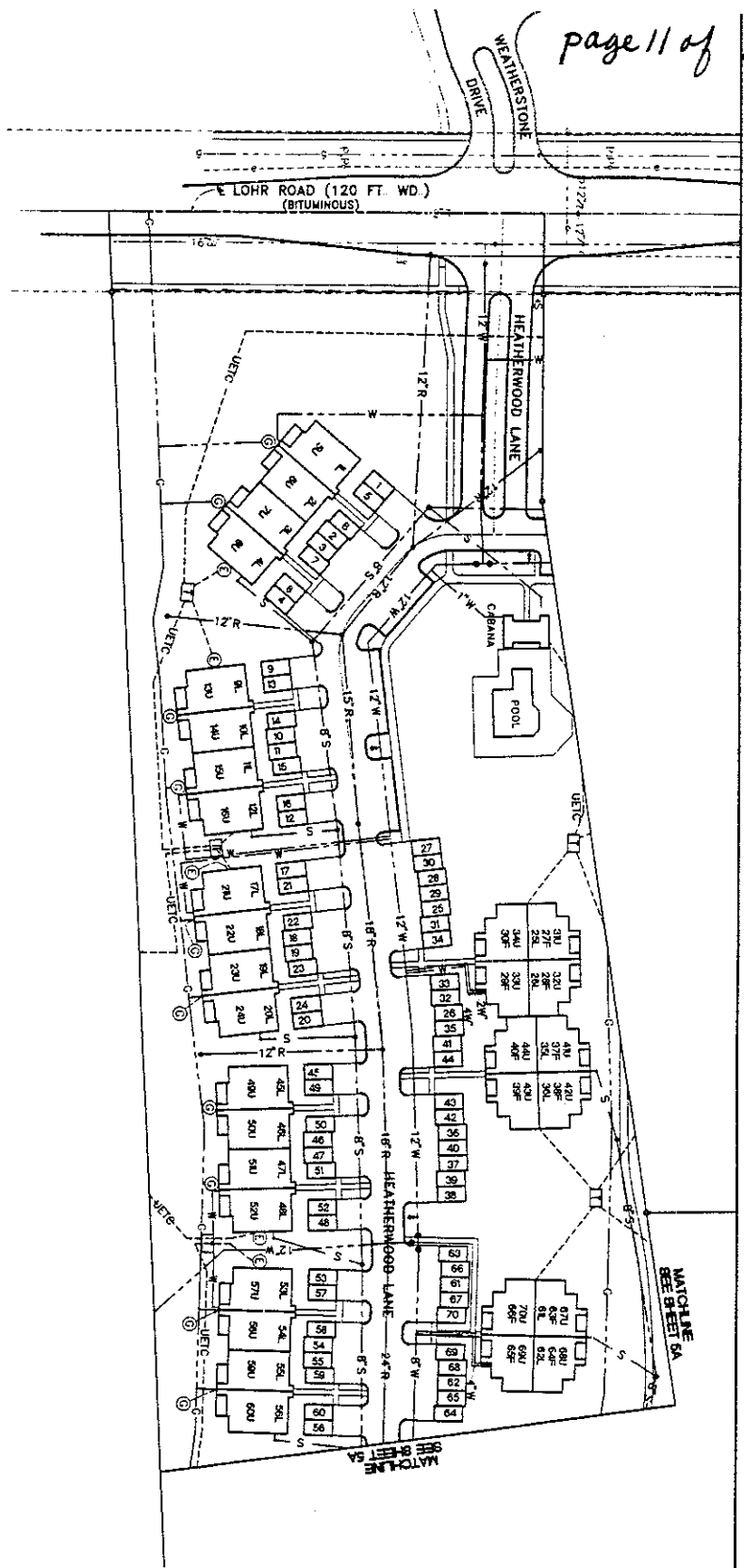
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REV. 40924  
XXX-XXX-X



CLIENT: HEATHERWOOD LLC.  
SECTION: 8  
TOWN: 5 SOUTH, RANGE: 6 EAST  
PITTSFIELD TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

**ATWELL-HICKS, INC.**  
CIVIL ENGINEERING • SURVEYING • PLANNING  
ENVIRONMENTAL SERVICES  
313-994-4000 • FAX NO. 313-994-1599  
ANN ARBOR, MICHIGAN



EXISTING	DESCRIPTION	PROPOSED
1	STORM	1
2	SANITARY	2
3	WATER	3
4	OVERHEAD ELECTRIC	4
5	UNDERGROUND ELECTRIC	5
6	GAS	6
7	OVERHEAD TELEPHONE	7
8	UNDERGROUND TELEPHONE	8
9	ELECTRIC & CABLE T.V.	9
10	MANHOLE	10
11	CATCH BASIN	11
12	HYDRANT	12
13	POWER POLE	13
14	TRANSFORMER	14
15	POST INDICATOR VALVE	15
16	GAS METER LOCATION	16
17	ELECTRIC METER LOCATION	17

- NOTES:
1. ALL UNITS WILL BE SERVICED WITH SANITARY SEWER AND WATER BY PITTSFIELD TOWNSHIP. INFORMATION AS SHOWN OBTAINED FROM APPROVED CONSTRUCTION PLANS.
  2. ALL UNITS WILL BE SERVICED WITH POWER BY THE DETROIT EDISON COMPANY. ALL UNITS WILL BE SERVICED WITH TELEPHONE BY THE AMERITECH CORPORATION. ALL UNITS WILL BE SERVICED WITH CABLEVISION BY THE COLUMBIA CABLE OF MICHIGAN. POWER, TELEVISION, AND CABLEVISION LINES AS SHOWN OBTAINED FROM DETROIT EDISON COMPANY PLANS.
  3. ALL UNITS WILL BE SERVICED WITH GAS BY THE MICHIGAN CONSOLIDATED GAS COMPANY. INFORMATION AS SHOWN OBTAINED FROM MICHIGAN CONSOLIDATED GAS COMPANY CONSTRUCTION PLANS.
  4. STORM SEWER LOCATIONS SHOWN ARE OBTAINED FROM APPROVED CONSTRUCTION PLANS.
  5. UTILITY METER LOCATIONS FOR EACH BUILDING WILL BE SHOWN ON THE "AS-BUILT" CONDOMINIUM PLANS.
  6. ALL SANITARY LEADS ARE 6" ALL STORM LEADS ARE 6" ALL WATER LEADS ARE 1-1/2" UNLESS OTHERWISE NOTED. ALL GAS LEADS ARE 7/8"

AS-BUILT DATE: AUG 15, 1997

TODD PASCOE  
 PROFESSIONAL ENGINEER NO. 36125  
 ATWELL-HICKS, INC.  
 ANN ARBOR, MICHIGAN 48108  
 (313) 994-4000



5  
 137-359-5

CLIENT: HEATHERWOOD L.L.C.

SECTION: 6

TOWN: 3 SOUTH, RANGE: 8 EAST

PITTSFIELD TOWNSHIP

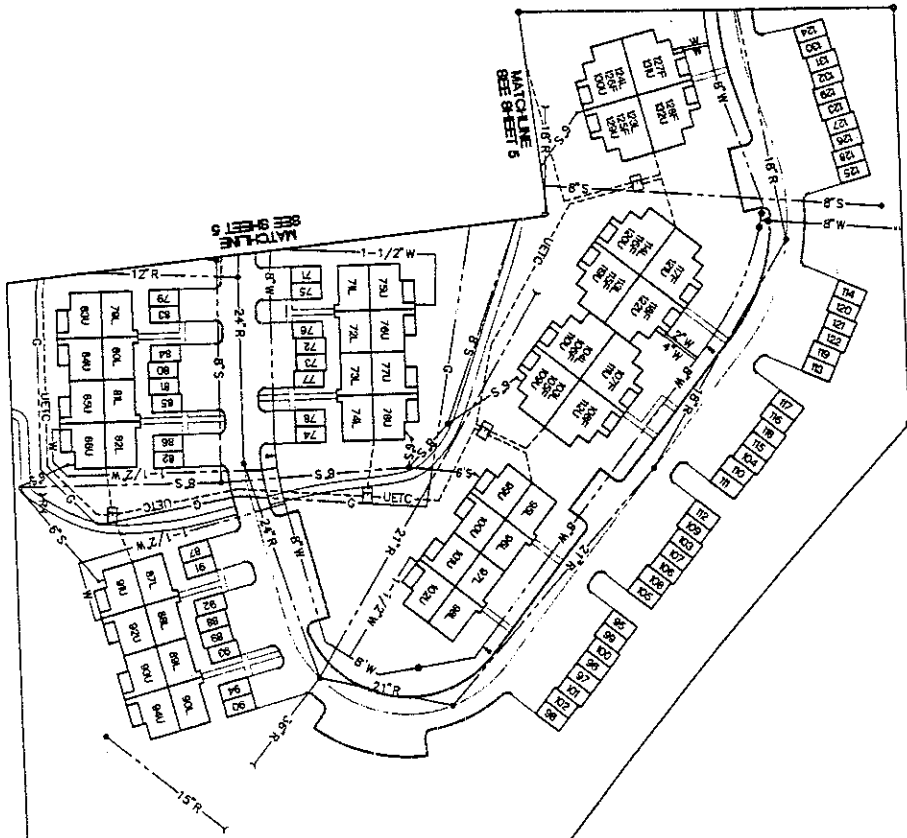
WASHTENAW COUNTY, MICHIGAN

UTILITY PLAN  
 HEATHERWOOD

DATE: 02-01-96

PROJECT NO.: 137-359-5

**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN



INTERSTATE 94

EXISTING	LEGEND	DESCRIPTION	PROPOSED
1	—	STORM	—
2	—	SANITARY	—
3	—	WATER	—
4	—	OVERHEAD ELECTRIC	—
5	—	UNDERGROUND ELECTRIC	—
6	—	GAS	—
7	—	OVERHEAD TELEPHONE	—
8	—	UNDERGROUND TELEPHONE	—
9	—	UNDERGROUND TELEPHONE	—
10	—	ELECTRIC & CABLE T.V.	—
11	—	MANHOLE	—
12	—	CLEARED	—
13	—	HYDRANT	—
14	—	POWER POLE	—
15	—	TRANSFORMER	—
16	—	WATER SHUTOFF	—
17	—	POST INDICATOR VALVE	—

PROPOSED DATE: AUG 15, 1997  
 T. O. Rade  
 1000 PASCOE  
 PROFESSIONAL ENGINEER NO. 26125  
 ATWELL-HICKS, INC.  
 540 AVIS DRIVE  
 ANN ARBOR, MICHIGAN 48106  
 (313) 994-4000



UTILITY PLAN  
 HEATHERWOOD

5A

DATE: 8/15/97  
 DRAWN BY: JHR  
 CHECKED BY: JHR



CLIENT: HEATHERWOOD L.L.C.  
 PHASE II  
 UTILITY PLAN  
 HEATHERWOOD

SECTION: 5  
 TOWN: 3 SOUTH, RANGE: 8 EAST  
 PITTSFIELD TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

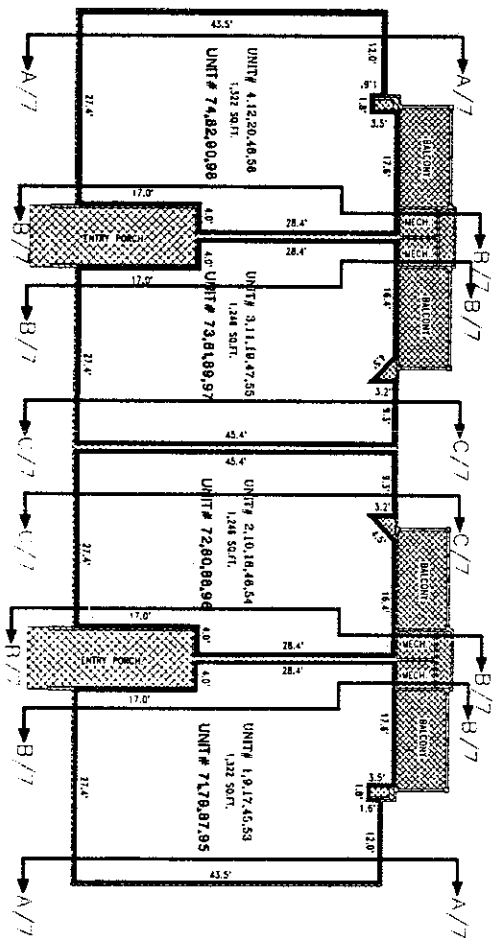
**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERING • SURVEYING • PLANNING  
 ENVIRONMENTAL SERVICES  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN



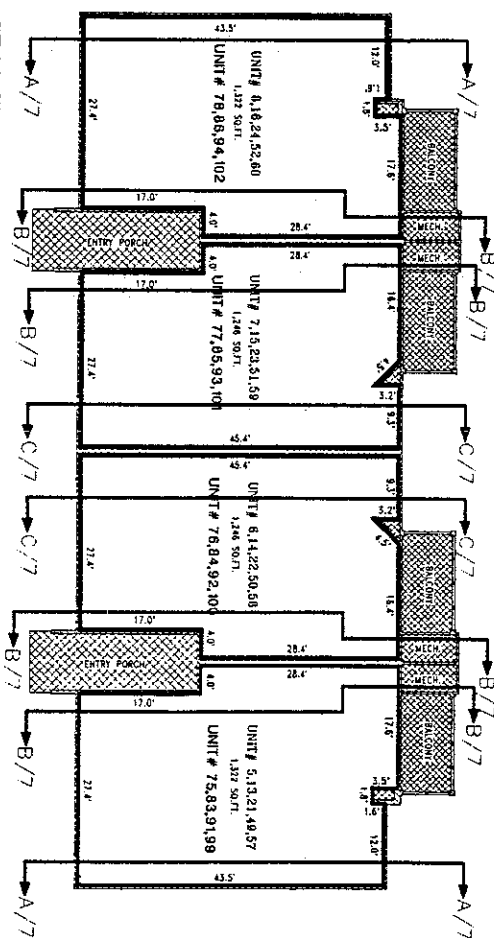
PROPOSED DATE: AUG. 15, 1997  
 SCALE: 1/8" = 1'-0"  
 J. BRADLEY MOORE  
 LICENSED ARCHITECT NO. 31784  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500

LEGEND  
 GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 UNITS OF OWNERSHIP  
 UNITS OF OWNERSHIP TO BE EXCLUDED UNLESS NOTED OTHERWISE  
 ENTRY PORCH  
 BALCONY  
 ALL UNITS NEED NOT BE BUILT  
 AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS  
 ALL WALLS ARE 42 FEET THICK UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

FIRST FLOOR PLAN



SECOND FLOOR PLAN



Drawn by  
 date 04/17/98  
 Job 98020  
 M1.6

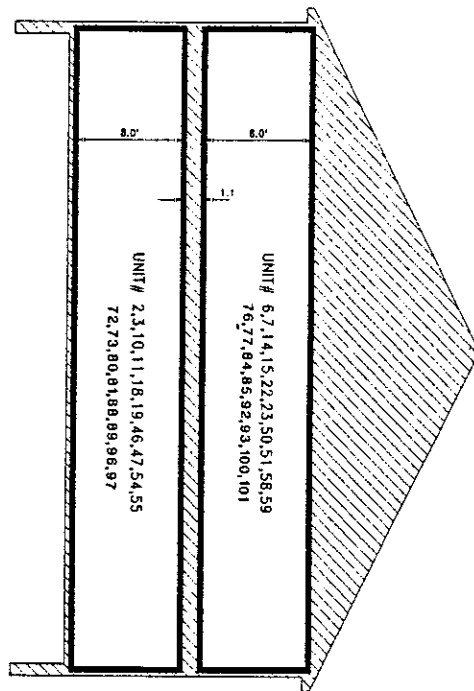
revisions

J BRADLEY MOORE & ASSOCIATES ARCHITECTS  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500

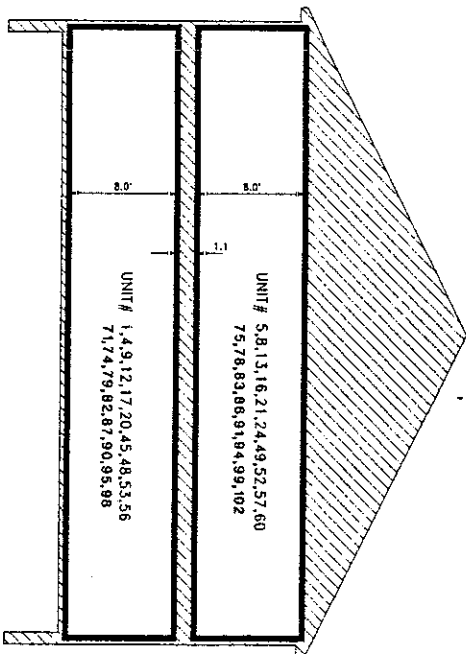
HEATHERWOOD  
 CONDOMINIUM DOCUMENTS  
 FLOOR PLANS  
 UNITS 1-24,45-60,71-102

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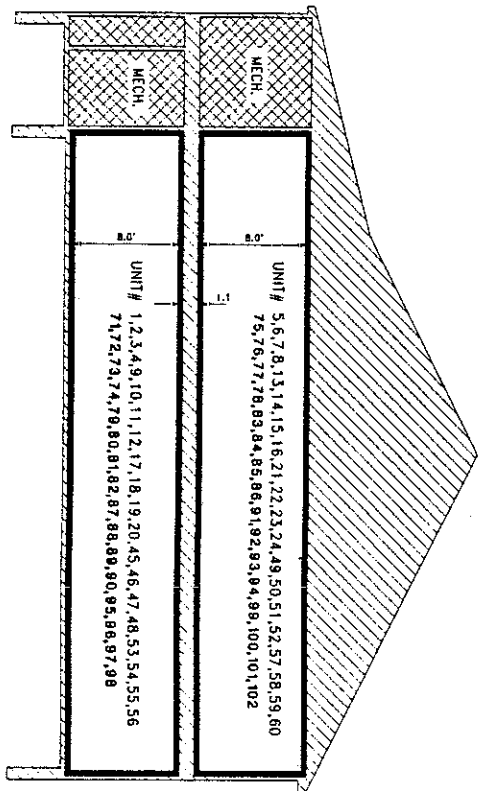




SECTION 'C'



SECTION 'A'



SECTION 'B'



PROPOSED DATE: AUG 15, 1997  
 SCALE: 1/4" = 1'-0"  
 J. BRADLEY MOORE  
 LICENSED ARCHITECT NO. 31784  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 517 ANN ARBOR STREET, SUITE 1-200  
 ANN ARBOR, MICHIGAN 48106  
 (313) 910-1500

**LEGEND**  
 COMMON COMMON ELEMENT  
 UNITS OF DIFFERENT DIMENSIONS UNITS ARE SO DESIGNATED EXCEPT WHERE NOTED OTHERWISE  
 UNITS OF DIFFERENT DIMENSIONS UNITS ARE SO DESIGNATED EXCEPT WHERE NOTED OTHERWISE  
 ALL UNITS NEED NOT BE BUILT  
 AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS  
 ALL WALLS ARE 4" FEET THICK UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

job 96020  
 DRAWN RCM  
 DATE 09/17/96  
 SHEET 7


conditions

**J BRADLEY MOORE & ASSOCIATES ARCHITECTS**  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500

**HEATHERWOOD CONDOMINIUMS**  
 BUILDING SECTIONS  
 UNITS# 1-24, 45-60, 71-102





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PROPOSED DATE: AUG. 15, 1997  
 SCALE: 1/8" = 1'-0"  
  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 920-1500

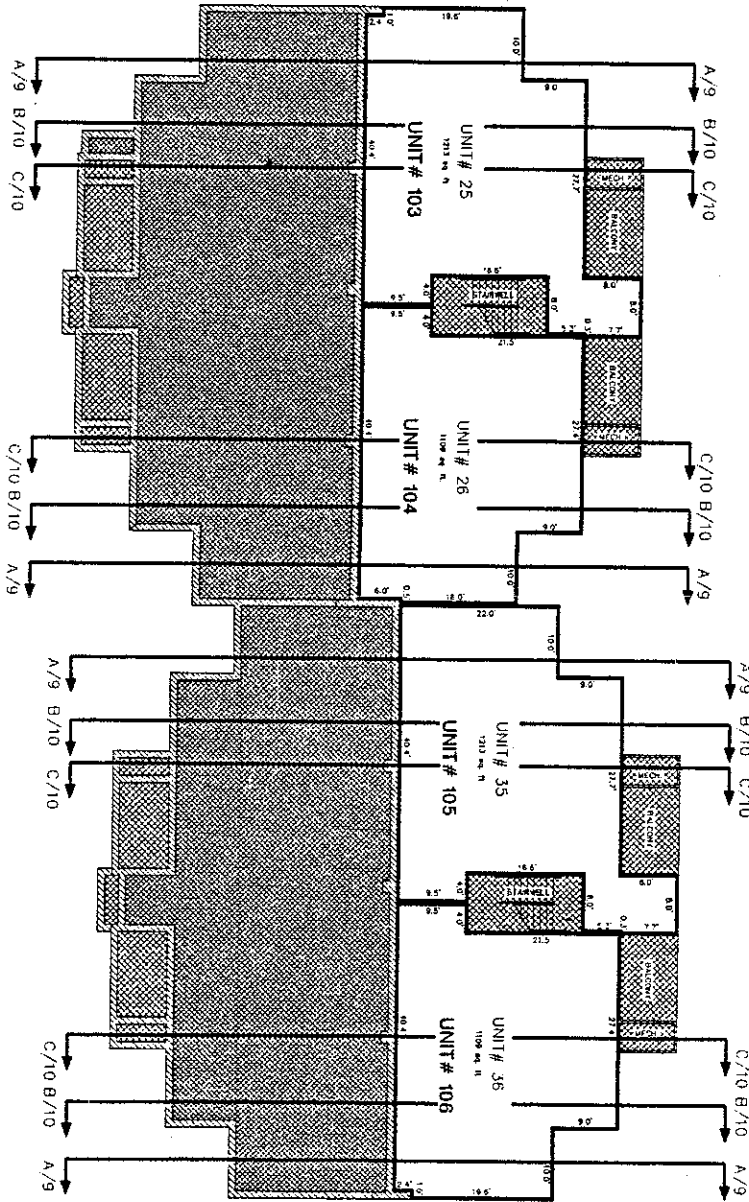


LEGEND

-  GENERAL COMMON ELEMENT
-  UNIT COMMON ELEMENT
-  UNITS OF DIMENSION 10 FEET OR LESS ARE 20 FEET TO EXCEEDER UNLESS NOTED OTHERWISE
-  1/4" THIN NORTH

ALL UNITS NEEDED MUST BE BUILT  
 AREAS ARE COMPUTED FROM  
 INTERIOR DIMENSIONS  
 ALL WALLS ARE 1/2 FEET THICK  
 UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

LOWER LEVEL PLAN



drawn  
 rsu  
 date 04/17/96  
 sheet 8

job 96020

revisions

J BRADLEY MOORE  
 & ASSOCIATES ARCHITECTS  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/920-1500










HEATHERWOOD  
 CONDOMINIUMS  
 UNITS# 25-26 35-36 103-106  
 LOWER LEVEL PLAN

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page 16 of 23

LEGEND

-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  UNITS OR OVERLAPPING OVERLAP ARE 30 FEET TO DISTANCE UNLESS NOTED OTHERWISE
-  1/4" INET. HOLES
-  P.C. PLUMBING CLOSURE
-  ALL UNITS NEED NOT BE BUILT
-  AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS
-  ALL WALLS ARE 4 1/2 FEET THICK UNLESS NOTED OTHERWISE
-  ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUG 15, 1997

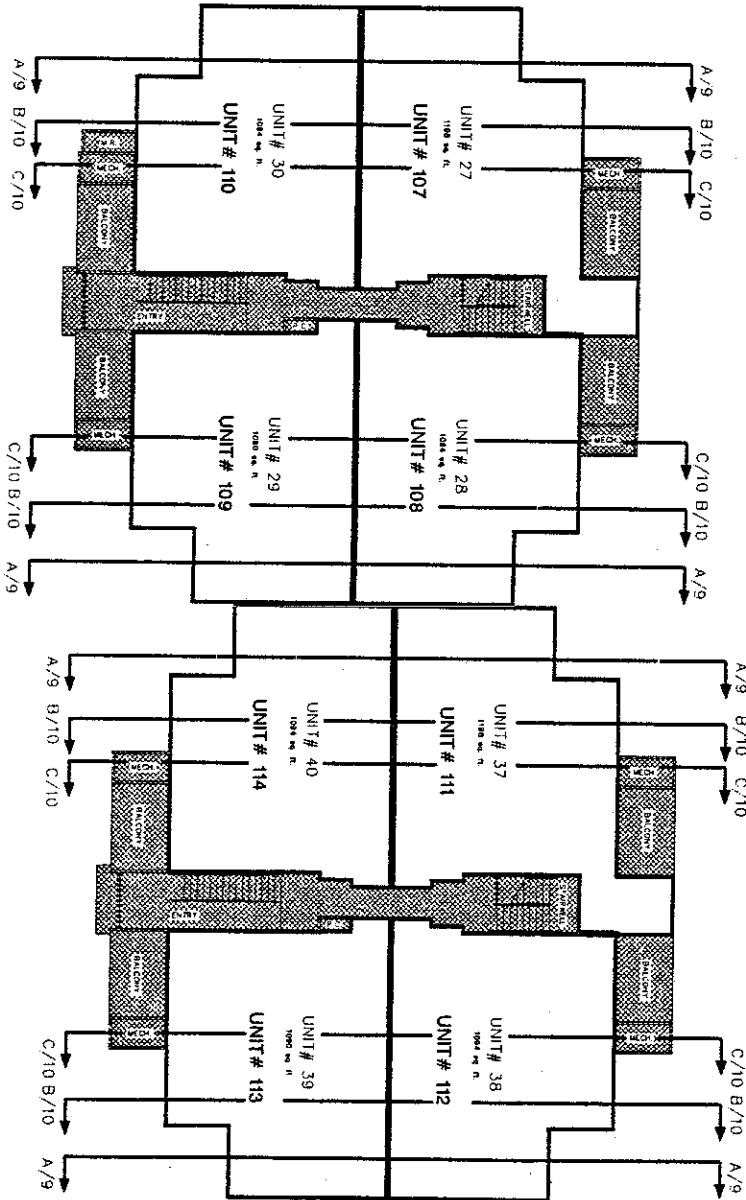
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J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500



MAIN LEVEL PLAN



Drawn BY  
 Date 04/17/96  
 SHEET 9

Job 96020

Revisions

J. BRADLEY MOORE & ASSOCIATES ARCHITECTS  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500

HEATHERWOOD CONDOMINIUMS  
 UNITS# 27-30, 37-40, 107-114  
 MAIN LEVEL PLAN

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**LEGEND**

- GENERAL COMMON ELEMENT
- UNITS OF OWNERSHIP
- UNITS OF OWNERSHIP

UNITS OF OWNERSHIP DIMENSIONS ARE IN DECIMALS TO EACH OTHER UNLESS NOTED OTHERWISE

IN TRUE NORTH

P.C. PLUMBING CLOSURE

ALL UNITS NEED NOT BE BUILT

AREAS ARE CONSIDERED FROM INTERIOR DIMENSIONS

ALL WALLS ARE 4 1/2 FEET THICK UNLESS NOTED OTHERWISE

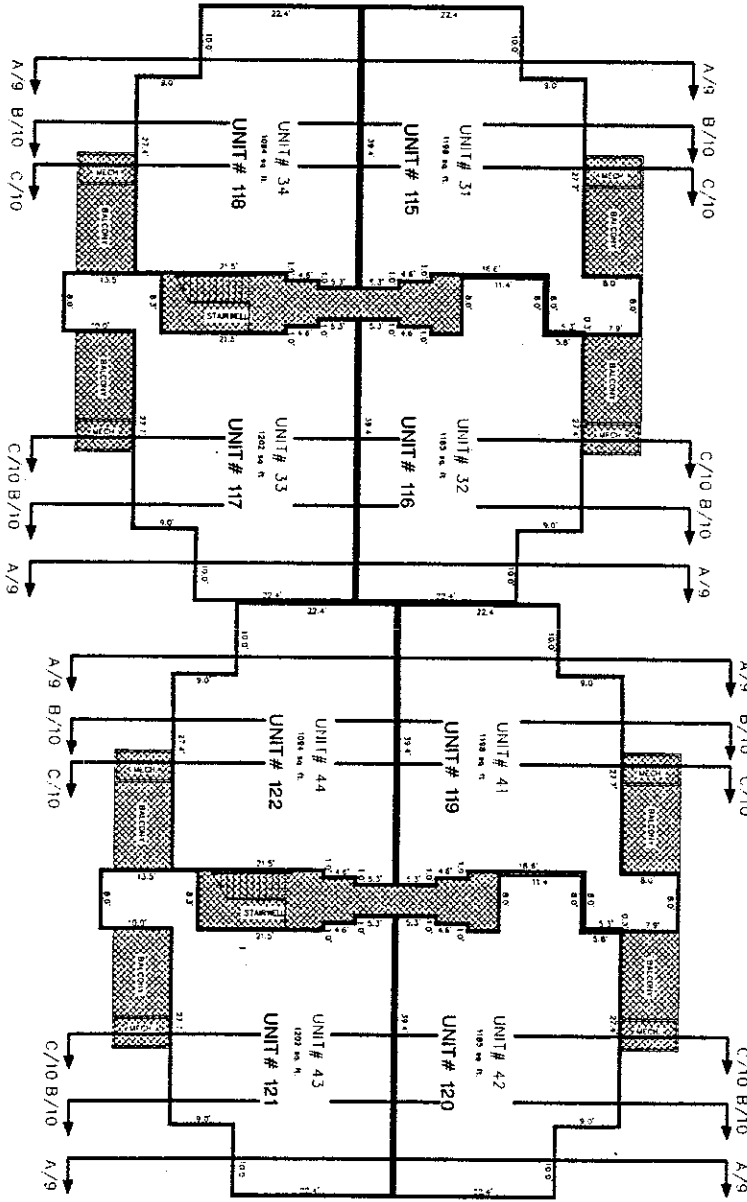
ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUG. 15, 1997

SCALE: 1/8" = 1'-0"

J. BRADLEY MOORE  
 LICENSED ARCHT. NO. 31784  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR MICHIGAN 48104  
 (313) 930-1500

**UPPER LEVEL PLAN**



drawn by  
 date 04/17/96  
 sheet 10

job 96020

revisions

**J BRADLEY MOORE & ASSOCIATES ARCHITECTS**  
 317 S Division Street 1510 Ann Arbor MI 48104 313/930-1500

**HEATHERWOOD CONDOMINIUMS**  
 UNITS# 31-34, 41-44, 115-122  
 UPPER LEVEL PLAN

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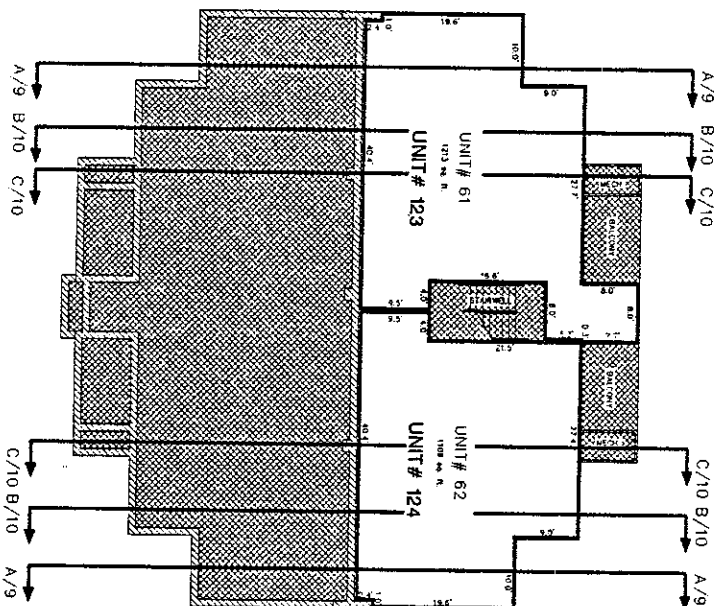
page 18 of 23



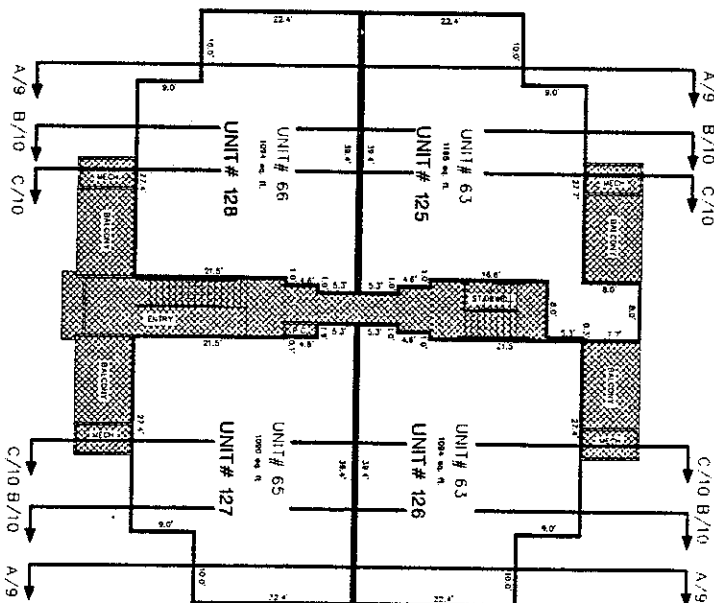
PROPOSED DATE: AUG. 15, 1997  
 SCALE: 1/8" = 1'-0"  
 J. BRADLEY MOORE  
 LICENSED ARCHITECT, NO. 31784  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET, SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500

**LEGEND**  
 [Hatched Box] GENERAL COMMON ELEMENT  
 [Dotted Box] LIMITED COMMON ELEMENT  
 [Line with Arrow] UNITS OF OWNERSHIP OR INTERESTS TO EXISTENCE UNLESS NOTED OTHERWISE  
 [Line with Arrow] IN TRUE NORTH  
 [Line with Arrow] P.C. PLUMBING CLOSET  
 ALL UNITS NEED NOT BE BUILT  
 AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS  
 ALL WALLS ARE 4 1/2 FEET THICK UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

LOWER LEVEL PLAN



MAIN LEVEL PLAN



drawn by  
 date 04/17/98  
 ent 11

job 98020

revisions

J BRADLEY MOORE & ASSOCIATES ARCHITECTS  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500







HEATHERWOOD CONDOMINIUMS  
 UNITS# 61-66, 123-128  
 FLOOR PLANS

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page 19 of 23

LEGEND

-  OTHER COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  UNITS OF OWNERSHIP
-  COMMON WALLS ARE 80 PERCENTS TO DIMENSIONS UNLESS NOTED OTHERWISE
-  1/2" FINISH HEIGHT
-  PLUMBING CLOSET

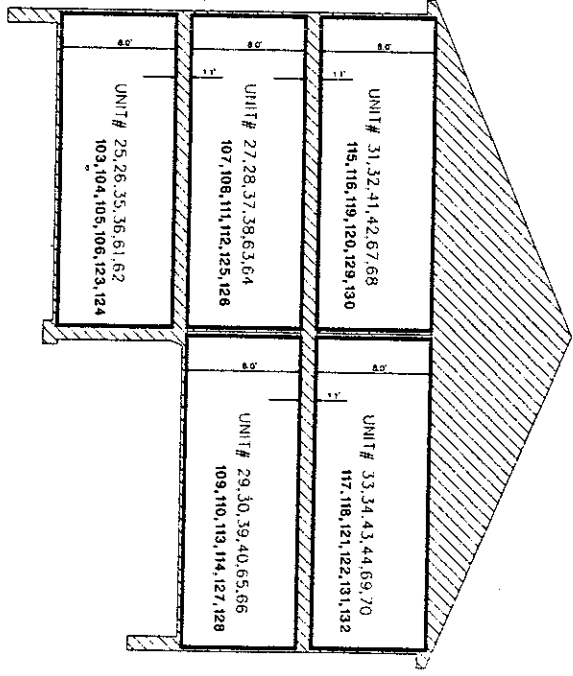
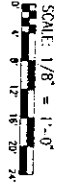
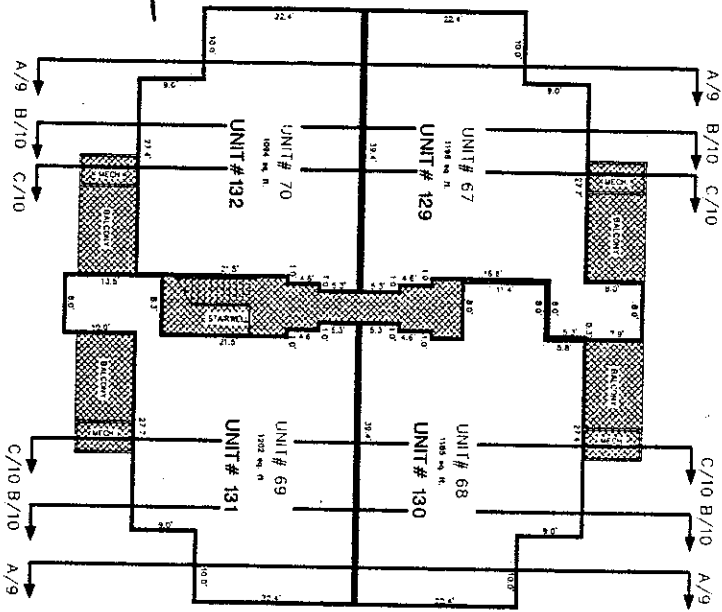
ALL UNITS NEED NOT BE RUMI  
 APPLIC ARE COMPUTED FROM  
 INTERIOR DIMENSIONS  
 ALL WALLS ARE 4" FEET THICK  
 UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUG 15, 1987

J. BRADLEY MOORE  
 LICENSED ARCHITECT NO. 31784  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500



UPPER LEVEL PLAN



SECTION 'A'



Sheet 12  
 DRAWING NO. 96020  
 DATE 04/11/86

revision

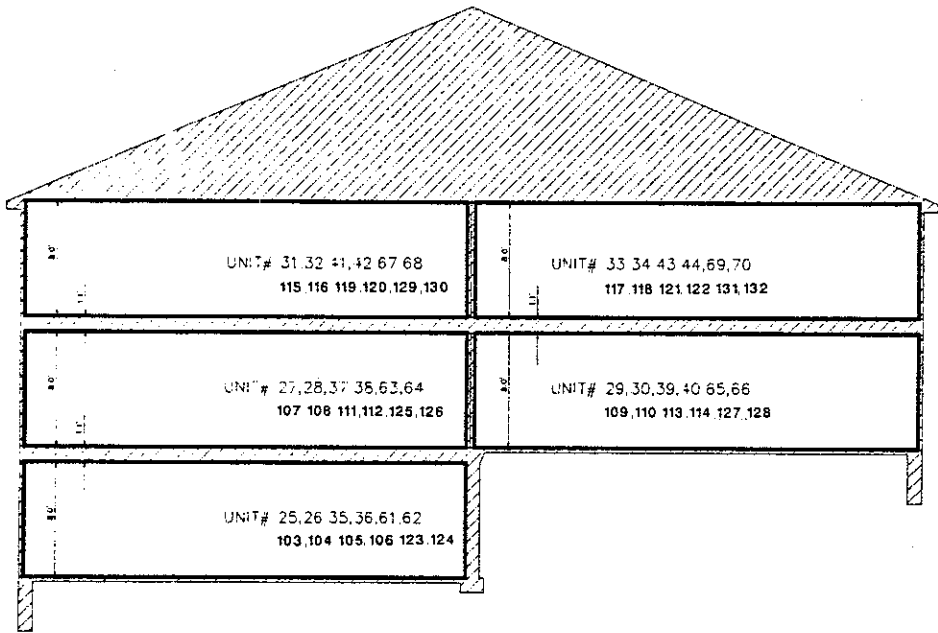
J BRADLEY MOORE  
 & ASSOCIATES ARCHITECTS  
 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500

HEATHERWOOD  
 CONDOMINIUM DOCUMENTS  
 UPPER LEVEL PLAN  
 UNITS 67-70 129-132  
 SECTION 'A'  
 UNITS 25-70, 103-132





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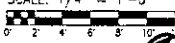
page 20 of 23



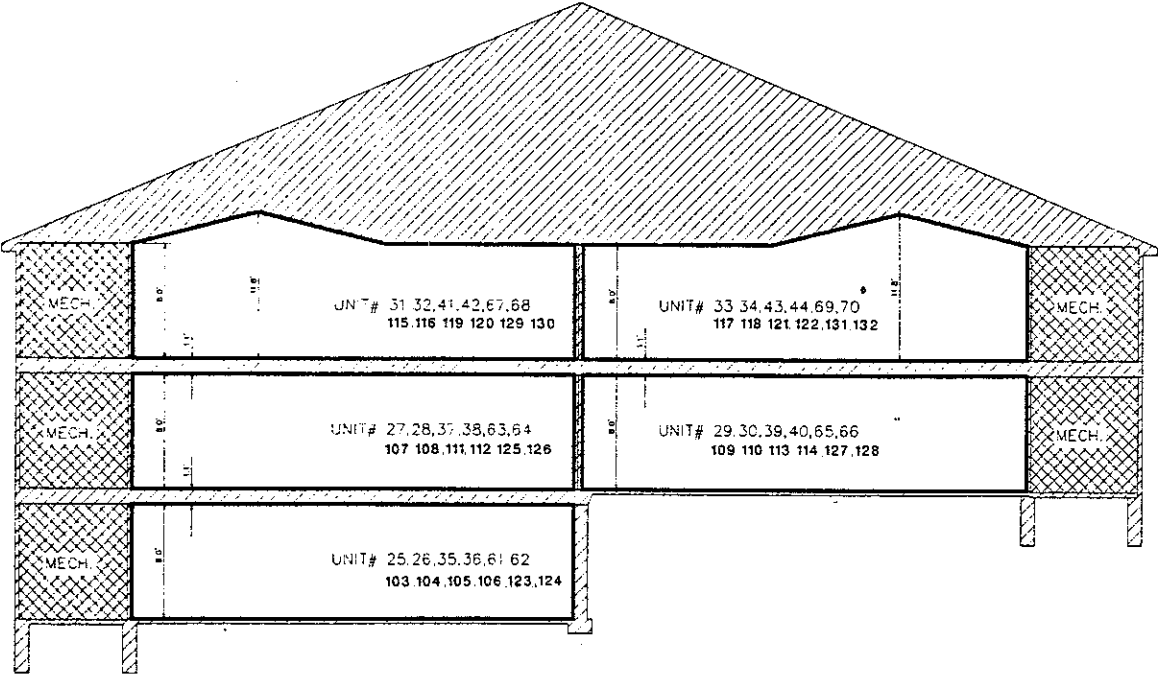
**LEGEND**

-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  LIMITS OF OWNERSHIP OWNERSHIP LINES ARE 90 DEGREES TO EACH OTHER UNLESS NOTED OTHERWISE
-  T.N. TRUE NORTH

ALL UNITS NEED NOT BE BUILT  
 AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS  
 ALL WALLS ARE 42 FEET THICK UNLESS NOTED OTHERWISE  
 ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUG 15, 1997  
 SCALE: 1/4" = 1'-0"  
  
 J. BRADLEY MOORE  
 LICENSED ARCHITECT NO. 31784  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS, INCORPORATED  
 317 S. DIVISION STREET SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500

**SECTION 'B'**



**SECTION 'C'**

SH. 13	DRAWN RSU DATE 07/17/86	JOB 96020	REVISIONS	<b>J BRADLEY MOORE                  &amp; ASSOCIATES ARCHITECTS</b> 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500	<b>HEATHERWOOD                  CONDOMINIUM DOCUMENTS</b> SECTIONS B & C UNITS 25-70, 103-132	© Copyright 1998	
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PROPOSED DATE: AUG. 15, 1997

SCALE: 1/4" = 1'-0"

J. BRADLEY MOORE  
LICENSED ARCHITECT NO. 31784

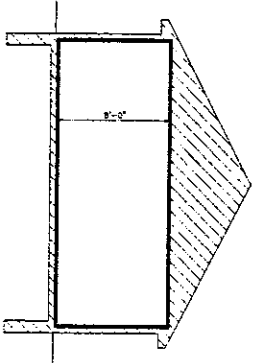
J. BRADLEY MOORE & ASSOCIATES  
ARCHITECTS INCORPORATED  
317 S. DIVISION STREET SUITE 1510  
ANN ARBOR, MICHIGAN 48104  
(313) 930 1500

LEGEND

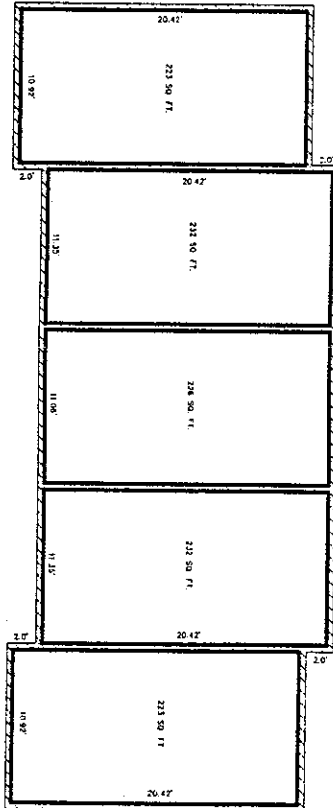
CLERICAL COMMON ELEMENT  
LIMITED COMMON ELEMENT

UNITS OF OWNERSHIP  
OVERLAPping LINES ARE TO DIRECT TO  
DRAWING UNLESS NOTED OTHERWISE

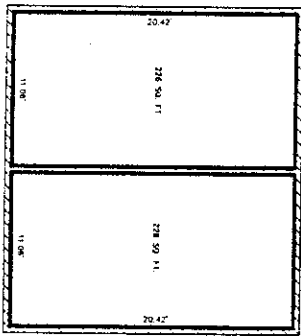
AREAS ARE COMPUTED FROM  
INTERIOR DIMENSIONS  
ALL WALLS ARE 42 FEET THICK  
UNLESS NOTED OTHERWISE  
ALL DIMENSIONS ARE IN FEET



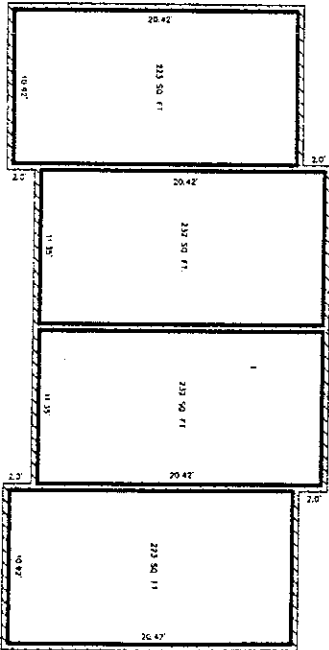
GARAGE SECTION



FIVE-UNIT GARAGE PLAN



TWO-UNIT GARAGE PLAN



FOUR-UNIT GARAGE PLAN



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HEATHERWOOD  
CONDOMINIUM DOCUMENTS  
GARAGE PLANS  
GARAGE SECTION

J BRADLEY MOORE  
& ASSOCIATES ARCHITECTS  
317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500

REVISIONS

job 96020

drawn nsu  
date 04/17/96  
sh 14



**LEGEND**

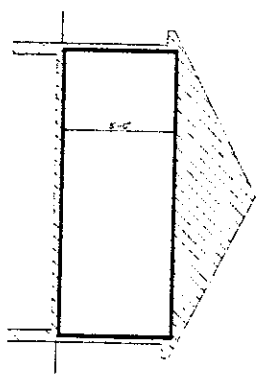
- SOLID CONCRETE FLOOR
- LIMITED CONCRETE ELEMENT
- 1/2" x 5/8" SANDWICH PANEL UNITS ARE 30 HEIGHTS TO FINISHING SURFACE UNLESS NOTED OTHERWISE
- 1" TRIF. ROOF
- AREAS ARE CONFINED FROM INTERIOR DIMENSIONS
- ALL WALLS ARE 42 FEET THICK UNLESS NOTED OTHERWISE
- ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUG. 15, 1987

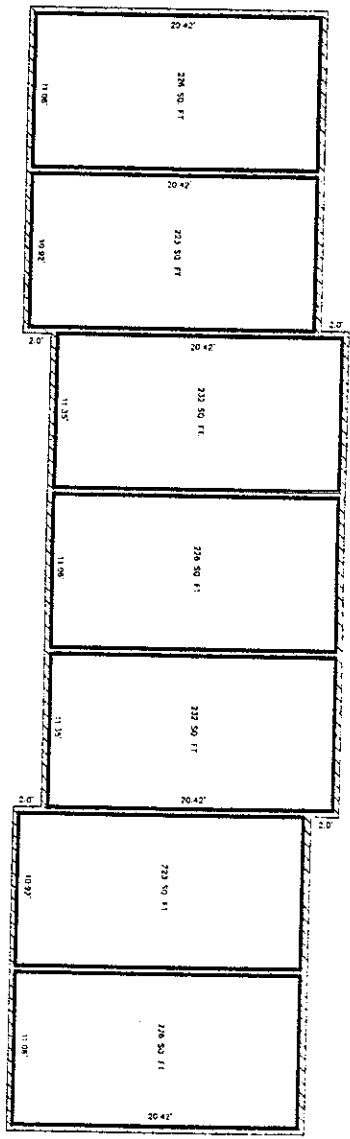
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J. BRADLEY MOORE  
 LICENSED ARCHITECT NO. 31784

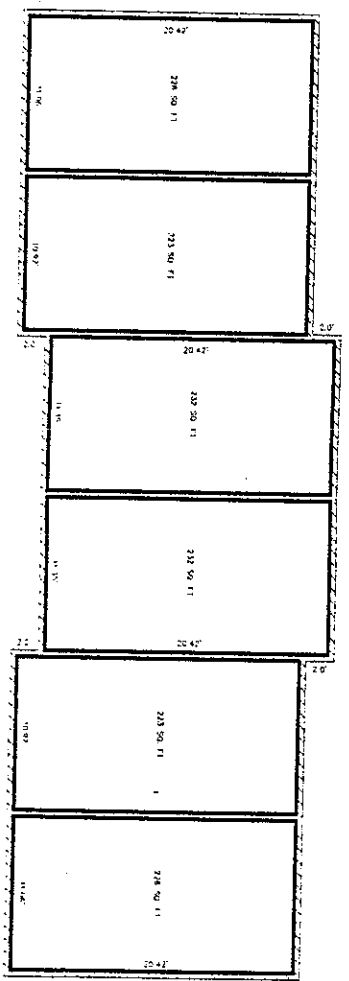
J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
 317 S. DIVISION STREET, SUITE 1510  
 ANN ARBOR, MICHIGAN 48104  
 (313) 930-1500



GARAGE SECTION



SEVEN-UNIT GARAGE PLAN









SIX-UNIT GARAGE PLAN

drawn by date 08/11/87 job 96020 sheet 15	revision	<b>J. BRADLEY MOORE &amp; ASSOCIATES ARCHITECTS</b> 317 S Division Suite 1510 Ann Arbor MI 48104 313/930-1500	<b>HEATHERWOOD CONDOMINIUM DOCUMENTS</b> GARAGE PLANS GARAGE SECTION	Copyright 1988	
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page 23 of 22

LEGEND

-  GENERAL COMMON ELEMENT
-  UNITS COMMON ELEMENT
-  UNITS OR OVERGROUP
-  OVERGROUP UNITS ARE SO REFERRED TO
-  ENTRY PORCH
-  1/4" THIN NORTH

AREAS ARE COMPUTED FROM INTERIOR DIMENSIONS

ALL WALLS ARE 42 FEET THICK UNLESS NOTED OTHERWISE

ALL DIMENSIONS ARE IN FEET

PROPOSED DATE: AUGUST 15, 1997

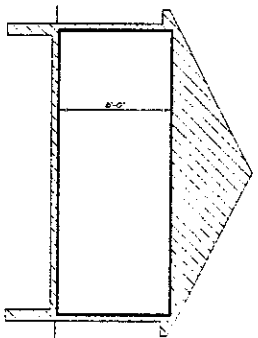
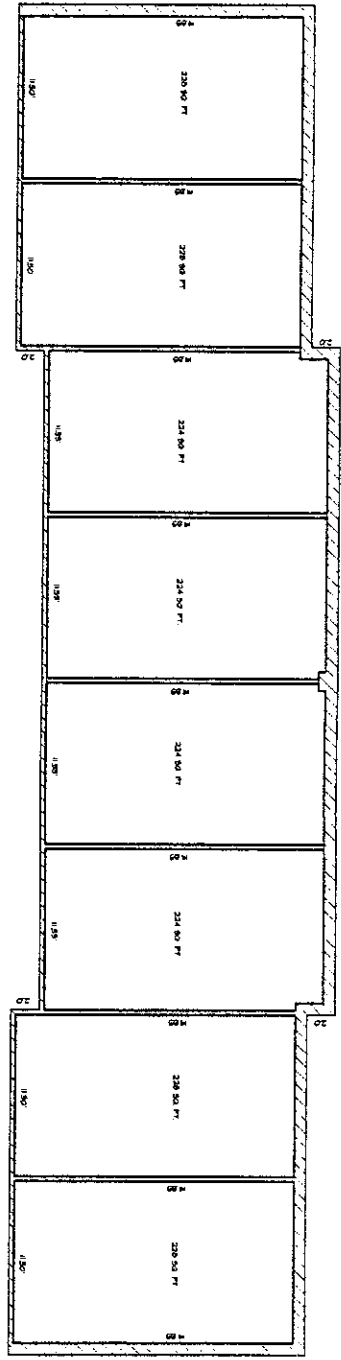
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 LICENSED ARCHITECT NO. 81784  
 J. BRADLEY MOORE & ASSOCIATES  
 ARCHITECTS INCORPORATED  
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 ANN ARBOR MICHIGAN 48104  
 (313) 930-1500



EIGHT-UNIT FLOOR PLAN

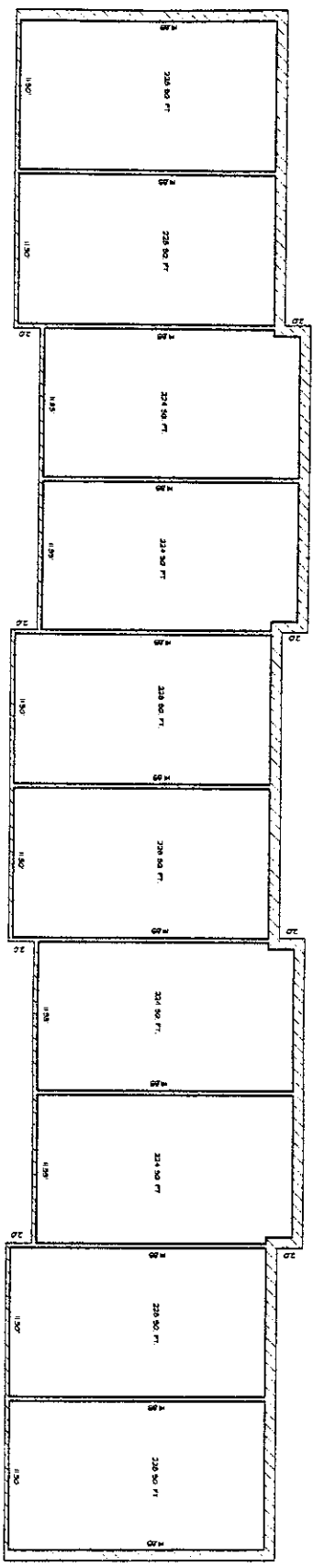
SCALE: 1/4" = 1'-0"



GARAGE SECTION  
 SCALE: 1/4" = 1'-0"

TEN-UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"



DATE: 08/15/97  
 JOB: 96020  
 SHEET: 16

REVISIONS

J. BRADLEY MOORE & ASSOCIATES ARCHITECTS  
 317 S. DIVISION SUITE 1510 ANN ARBOR MI 48104 313/930-1500

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